

[illegible]

1. HOUSE LOCATION IS APPROXIMATE. EVERY EFFORT SHOULD BE MADE TO MINIMIZE LOSS OF TREES AND VEGETATION. THE OWNER RESERVES THE RIGHT TO VERIFY THE EXACT LOCATION.
2. NATURAL GRADE IS TO BE MAINTAINED WHEREVER POSSIBLE.
3. LANDSCAPING ON THIS PROJECT IS TO BE RESTORATIVE IN NATURE.
4. THIS MAP IS FOR REFERENCE ONLY AND DOES NOT REFLECT A TITLE SEARCH OR A LAND SURVEY. ALL DIMENSIONS ARE APPROXIMATE AND RELATIVE ONLY TO THE ABOVE PROJECT.

OWNER:	
PROJECT DESCRIPTION:	
PROJECT ADDRESS:	
LEGAL DESCRIPTION:	
LOT AREA:	
OCCUPANCY:	R-3
BUILDING AREA:	1747 S.F. / 42,399 S.F. = 0.41 % COVERAGE
STORIES:	TWO
HEIGHT:	26'-6" ±

GENERAL BUILDING NOTES:

1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES AS PRESCRIBED BY THE GOVERNING AGENCY.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT THE AREA OUTSIDE OF THE BUILDING ENVELOPE IS NOT DISTURBED.
3. THE CONTRACTOR IS RESPONSIBLE TO PAY FOR ALL PERMITS AND FEES AS NECESSARY FOR THE PROPER COMPLETION OF THE WORK, AND SHALL ARRANGE FOR ALL INSPECTIONS AS REQUIRED BY THE GOVERNING AGENCY.
4. NOT USED.
5. TO THE FULLEST EXTENT PERMITTED BY LAW, THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND DRAFTSMAN AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK, PROVIDED THAT ANY SUCH CLAIM, DAMAGE, LOSS OR EXPENSE IS ATTRIBUTED TO BODILY INJURY, SICKNESS, DISEASE OR DEATH, OR TO INJURY OR DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF), INCLUDING LOSS OF USE RESULTING THEREFROM, BUT ONLY TO THE EXTENT CAUSED IN WHOLE OR IN PART BY ANY NEGLIGENT ACT OR OMISSION BY THE CONTRACTOR OR A SUB-CONTRACTOR DIRECTLY OR INDIRECTLY EMPLOYED BY THEM, OR ANYONE FOR WHOSE ACTS THEY MAY BE LIABLE, REGARDLESS OF WHETHER OR NOT SUCH CLAIM, DAMAGE, LOSS OR EXPENSE IS CAUSED IN PART BY A PARTY INDENTIFIED HEREINDEER.
6. THE DRAFTSMAN WILL NOT BE RESPONSIBLE FOR CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION, OR THE SAFETY PRECAUTIONS, OR PROGRAMS, INCIDENT THERETO, AND THE DRAFTSMAN WILL NOT BE RESPONSIBLE FOR CONTRACTORS FAILURE TO PERFORM IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
7. NOT USED
8. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE STORED, APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN SPECIFICATIONS AND INSTRUCTIONS UNLESS HEREINAFTER SPECIFIED TO THE CONTRARY.
9. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE ON CONSTRUCTION DOCUMENTS. DO NOT SCALE DRAWINGS.
10. ALL WORK SHALL BE EXECUTED IN A NEAT WORKMANLIKE MANNER. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN PROFESSIONAL MANNER.
11. WHEN WORK NOT SPECIFICALLY CALLED OUT IN THE CONSTRUCTION DOCUMENTS IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED AND BE OF THE BEST MATERIALS AND WORKMANSHIP.
12. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION (IN WRITING). THE OWNER SHALL BE PROVIDED WITH ORIGINAL COPIES OF ALL MANUFACTURERS WRITTEN WARRANTIES AND/OR GUARANTEES.
13. THE WARRANTIES AND/OR GUARANTEES PROVIDED IN THE CONSTRUCTION DOCUMENTS SHALL BE IN ADDITION TO AND NOT IN LIMITATION OF ANY OTHER WARRANTY AND/OR GUARANTY OR REMEDY REQUIRED BY LAW OR THE THE CONSTRUCTION DOCUMENTS.
14. ALL MATERIALS TO BE PROVIDED ARE TO BE NEW, GOOD QUALITY, FREE FROM FAULTS OR DEFECTS AND IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. ANY MATERIAL OR WORKMANSHIP NOT IN CONFORMANCE WITH THE ABOVE MAY BE REJECTED BY THE OWNER AT ANY TIME, AT COST TO THE OWNER.

1,250 SQ FT

2 BEDROOMS

2 BATHROOMS

Not for
construction

Site plan

MODERN CABIN
SAMPLE

1,250 SQ FT

2 BEDROOMS

2 BATHROOMS

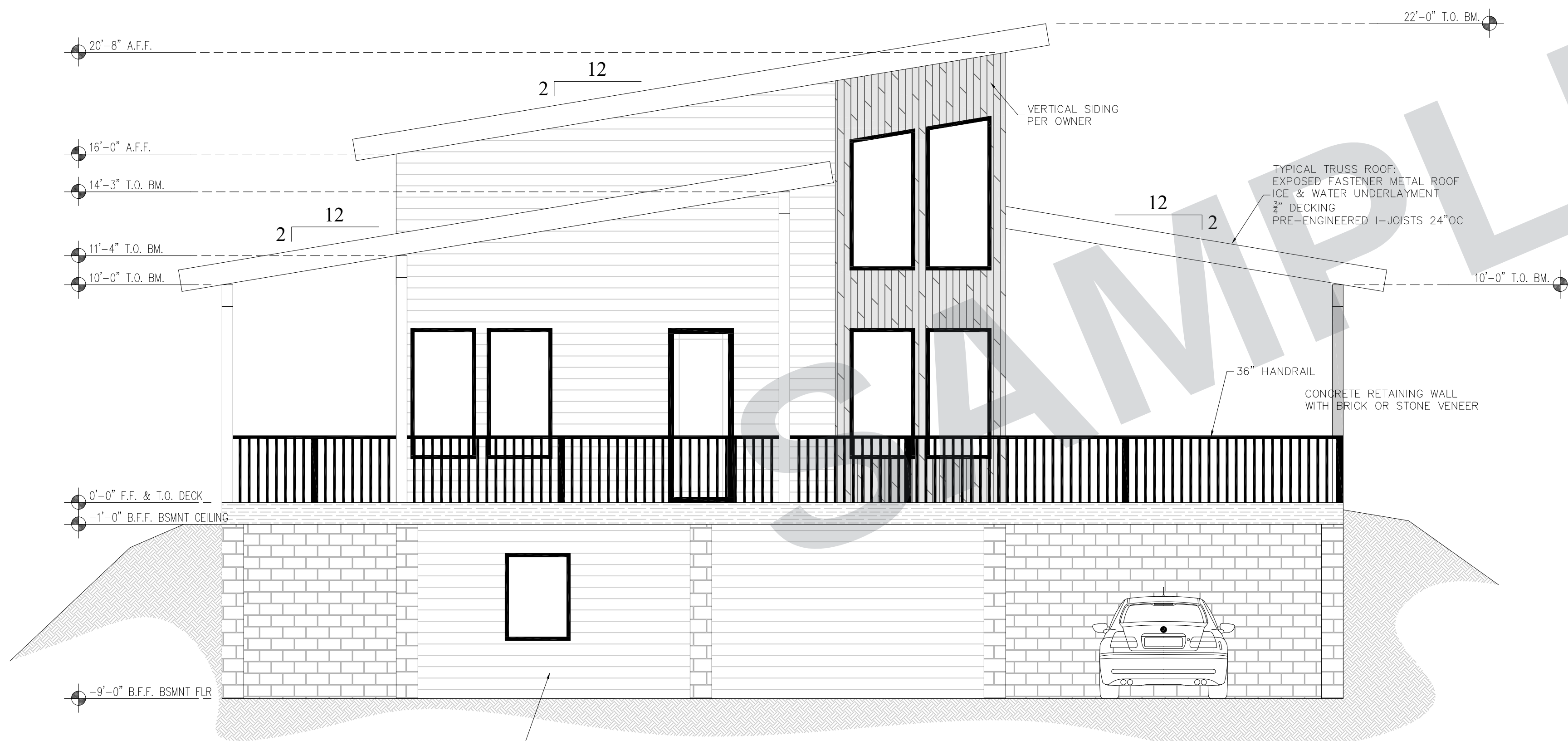
PORTFOLIO
SAMPLE

Not for
construction

A1.1

Exterior elevations

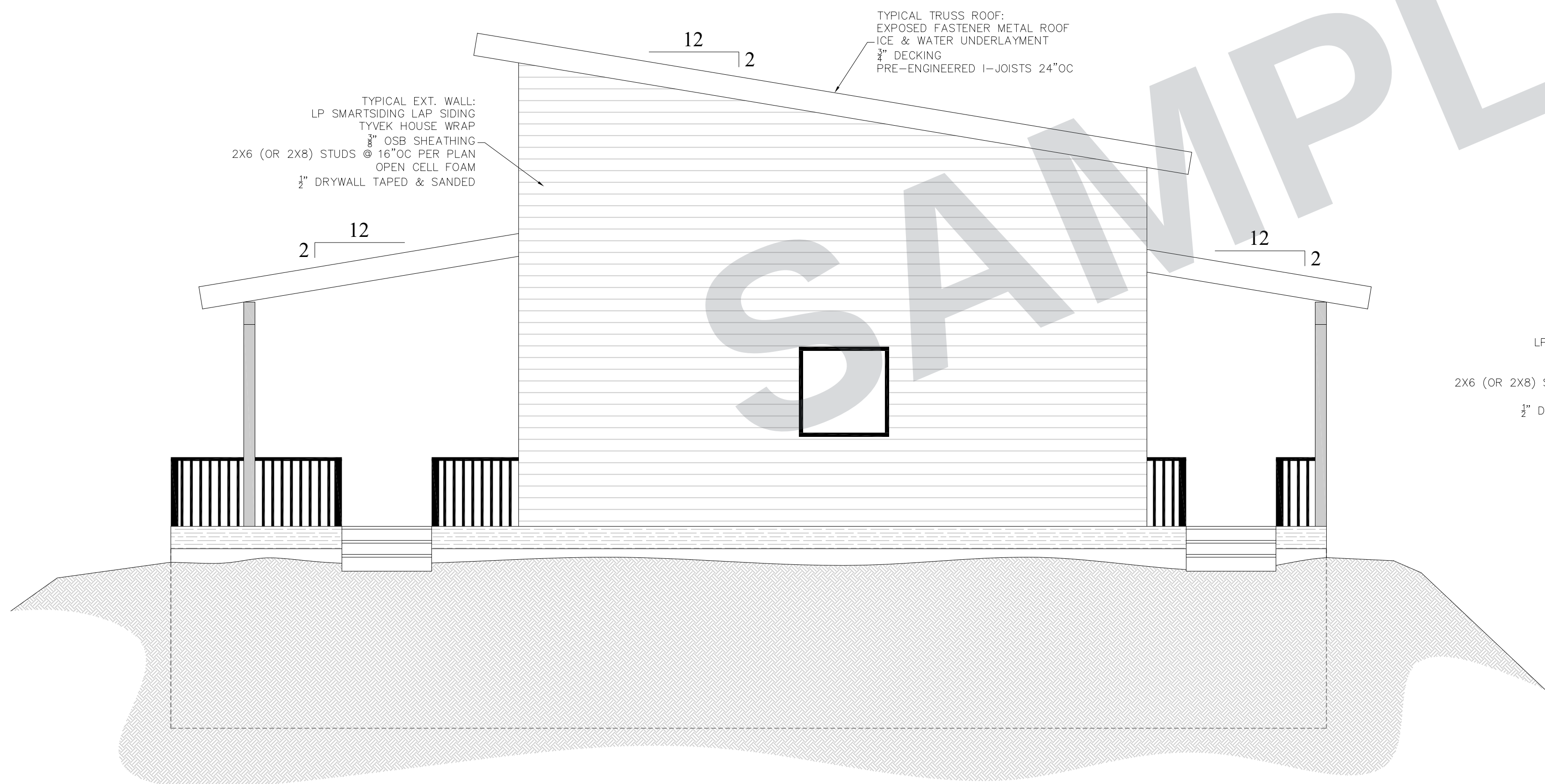
SHEET 2 OF 7



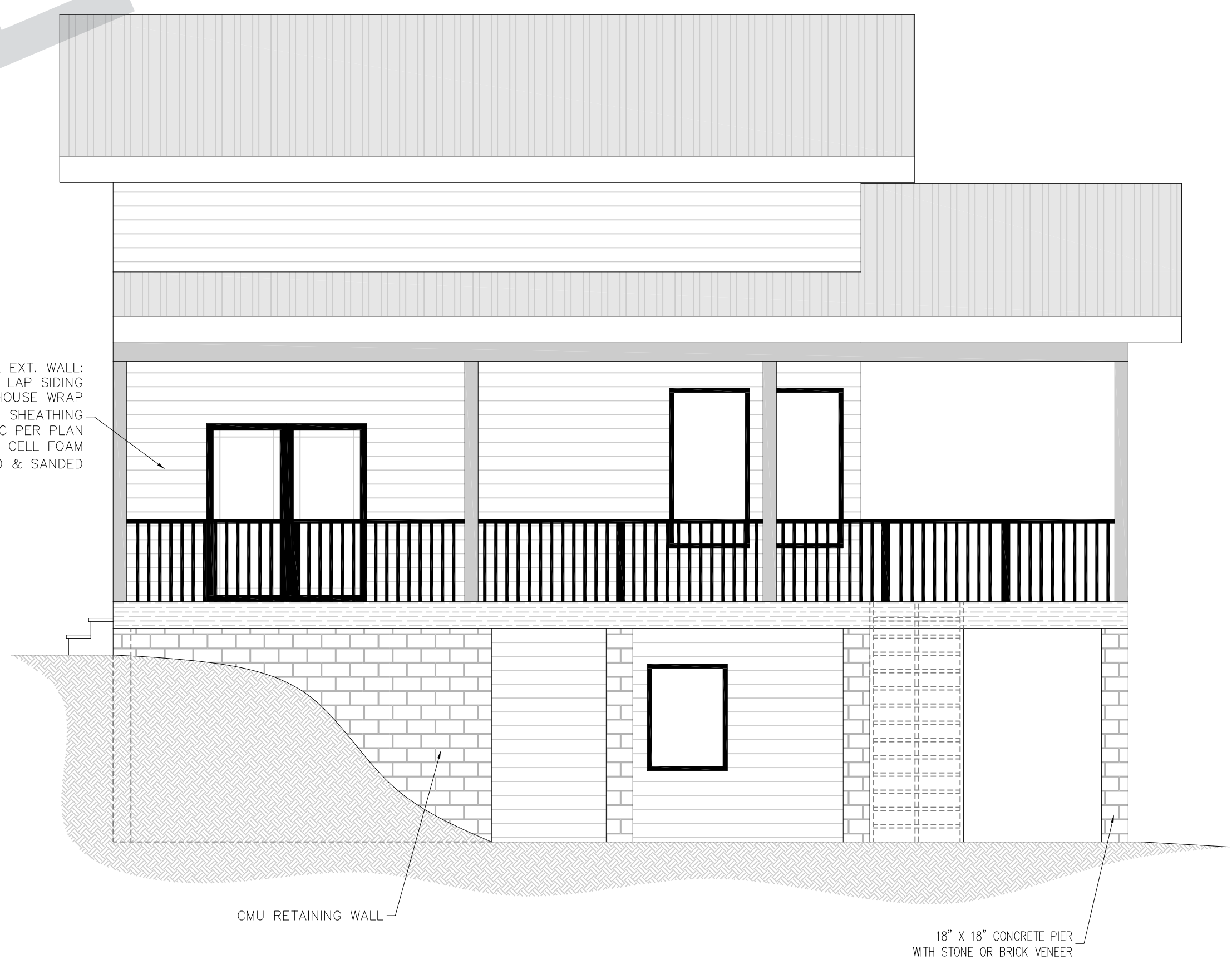
FRONT VIEW
N.T.S.



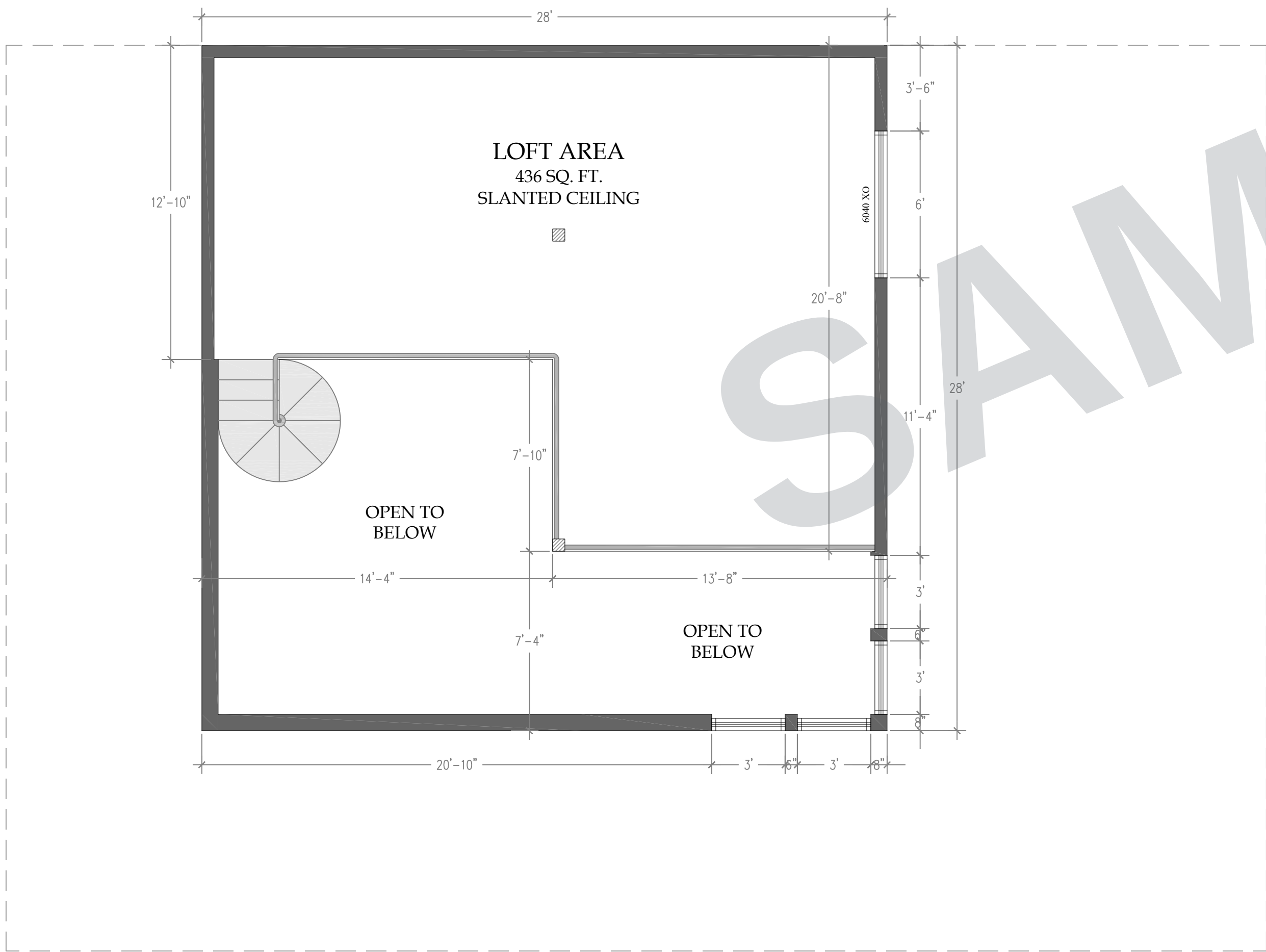
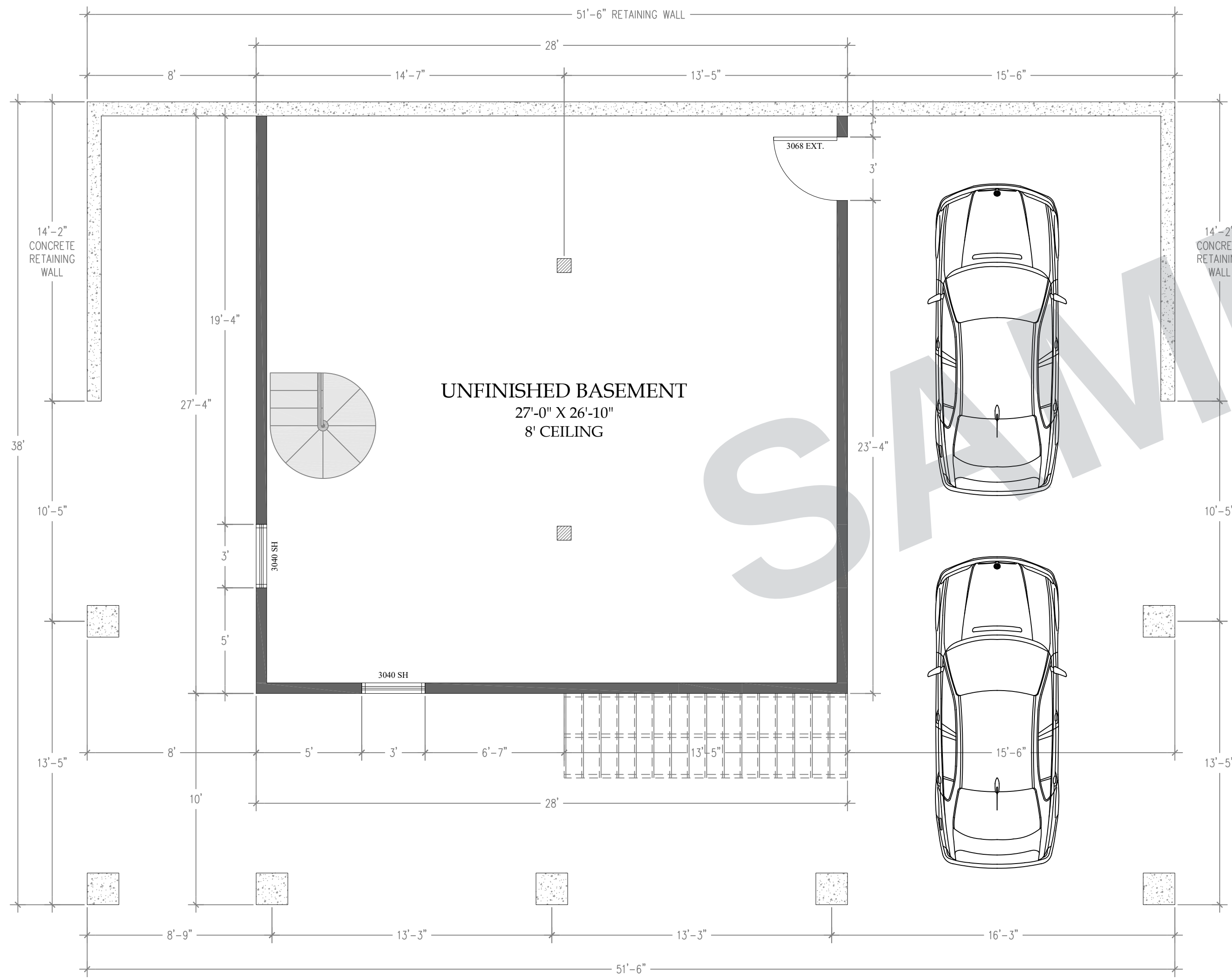
RIGHT VIEW
N.T.S.



BACK VIEW
N.T.S.



LEFT VIEW
N.T.S.

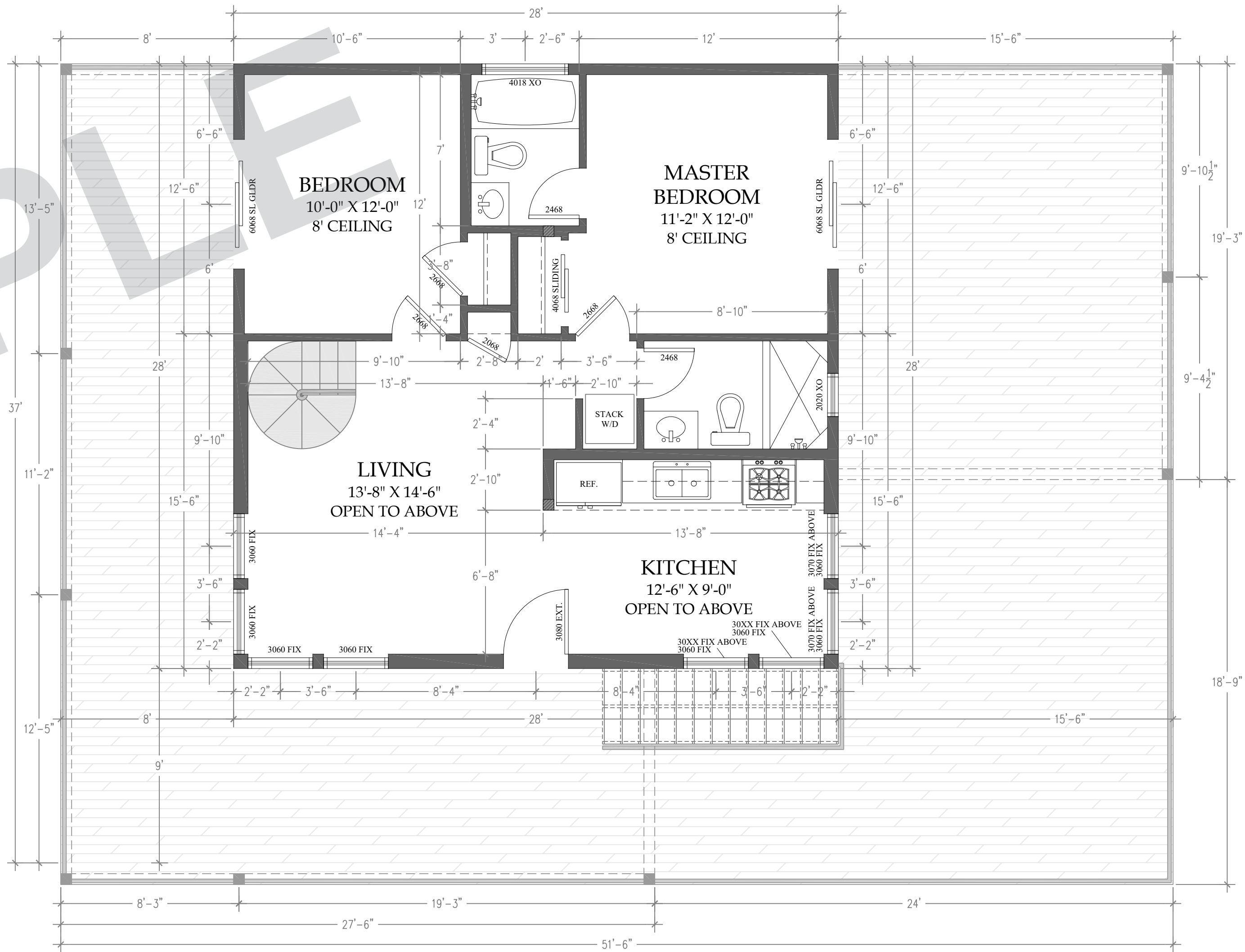


CONSTRUCTION NOTES:

- Contractor is responsible for adapting plans to comply with all applicable building codes and regulations as per IRC 2018.
- All structural beams, headers, and load-bearing components shall be sized and specified by a licensed structural engineer.
- All sleeping rooms require emergency egress windows or doors with a minimum net clear opening of 5.7 square feet (5 square feet for grade-level openings). Maximum sill height: 44 inches. Minimum clear opening height: 24 inches. Minimum clear opening width: 20 inches. (IRC 2018 R310.2.1)
- Bathroom exhaust fans must vent directly to the exterior, not into the attic. (IRC 2018 M1505.2)
- Return air grilles must be located to comply with IRC 2018 M1602 requirements.
- Contractor to ensure all framing, connections, and fasteners comply with IRC 2018 for load, wind, and seismic requirements as applicable.
- Construction must comply with IRC 2018 codes for residential structures and any applicable local amendments.

SQUARE FOOTAGE SUMMARY

1ST FLOOR LIVABLE = 784 sf
2ND FLOOR LIVABLE = 466 sf
TOTAL LIVABLE = 1250 sf
UNFINISHED BASEMENT = 784 sf
COVERED PORCHES = 830 sf
UNCOVERED DECK = 343 sf



MODERN CABIN SAMPLE

1,250 SQ FT

2 BEDROOMS

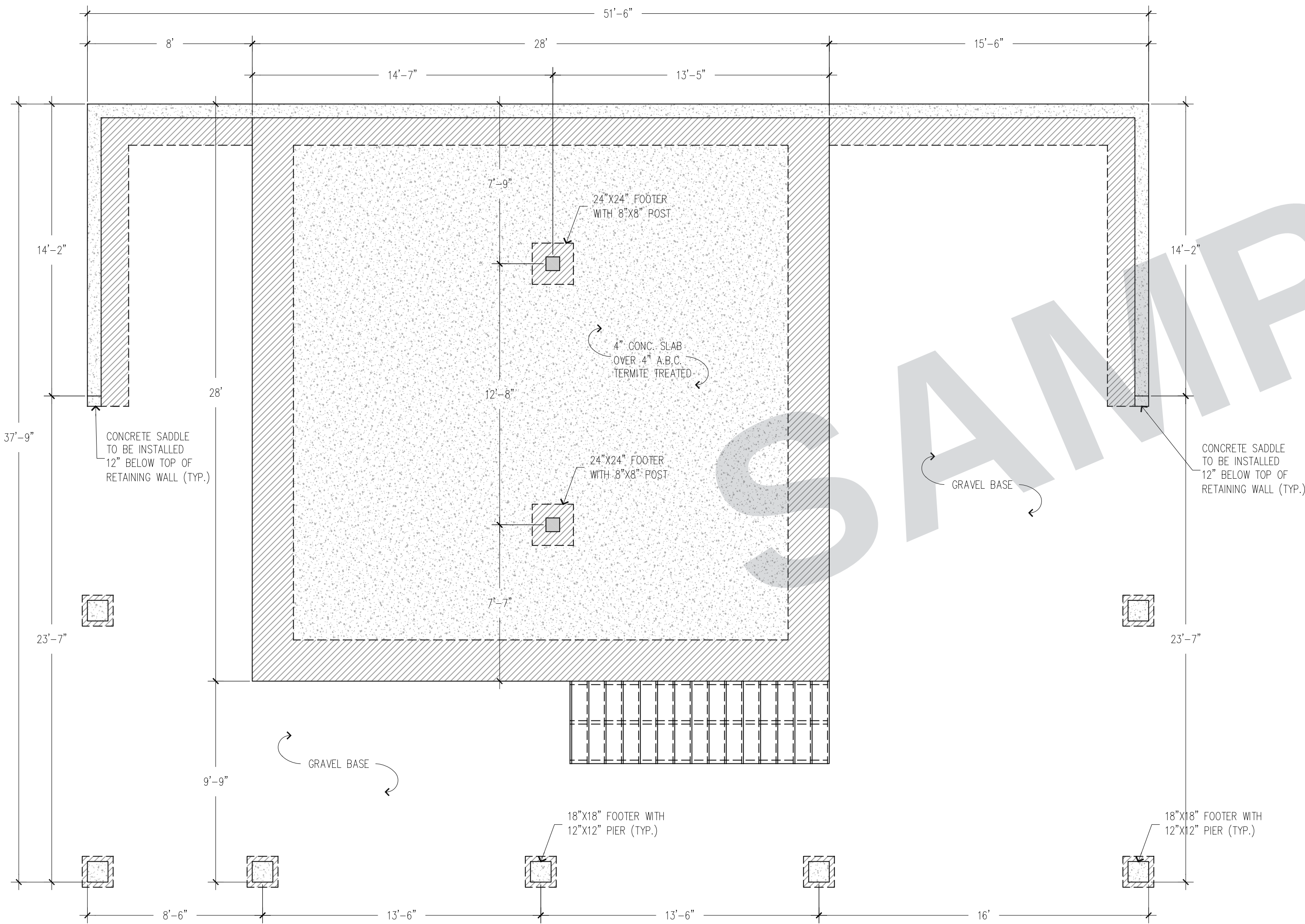
2 BATHROOMS

PORTFOLIO
SAMPLE

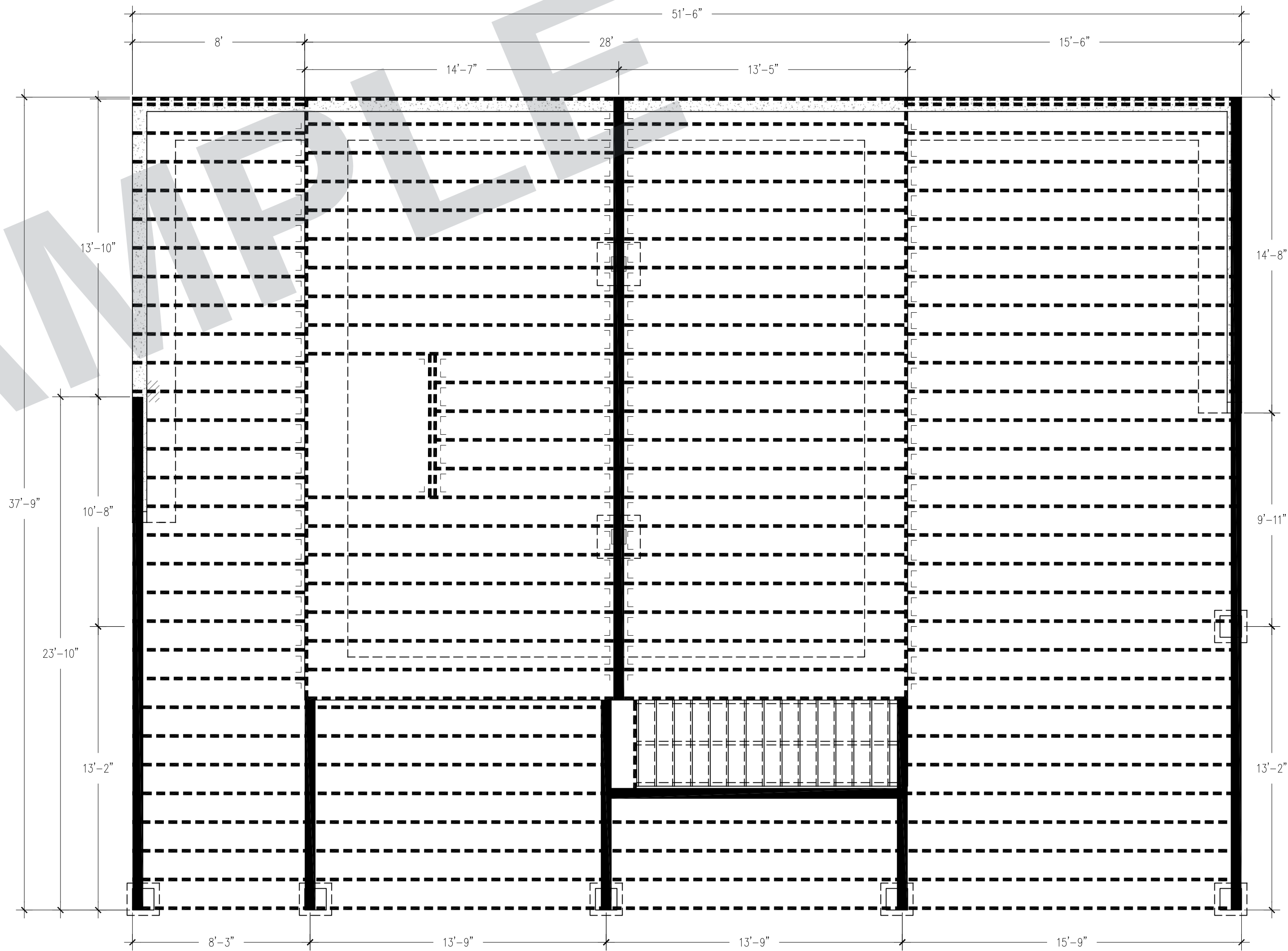
Not for
construction

A2.1

Floor plans



WESTERN PRODUCT PROFILE -- REFERENCE ONLY				
JOIST DEPTH	BCI JOIST SERIES	12" O.C.	16" O.C.	19.2" O.C.
9-1/2"	5000 1.7	17'-1"	15'-7"	14'-9"
	6000 1.8	17'-11"	16'-5"	15'-6"
	6500 1.8	18'-5"	16'-10"	15'-11"
11-7/8"	5000 1.7	20'-2"	18'-5"	17'-5"
	6000 1.8	21'-3"	19'-5"	18'-4"
	6500 1.8	21'-11"	20'-0"	18'-11"



NOTES:

1. BASEMENT FOUNDATION NOTES
2. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI UNLESS OTHERWISE NOTED ON THE STRUCTURAL PLANS OR REQUIRED BY THE GOVERNING JURISDICTION.
3. FOUNDATION DESIGN SHALL BE BASED ON A MINIMUM ASSUMED SOIL BEARING CAPACITY OF 1,500 PSF UNLESS OTHERWISE DETERMINED BY THE BUILDING OFFICIAL, ENGINEER, OR A SITE-SPECIFIC SOILS REPORT.
4. CONCRETE SLABS SHALL BE PLACED OVER A MINIMUM 4-INCH COMPACTED GRANULAR BASE UNLESS OTHERWISE NOTED ON THE PLANS OR APPROVED BY THE BUILDING OFFICIAL.
5. REMOVE ALL VEGETATION, ORGANIC MATERIAL, LOOSE SOIL, AND UNSUITABLE MATERIAL BEFORE PLACING FOOTINGS, SLABS, OR BACKFILL.
6. FOOTINGS SHALL BEAR ON UNDISTURBED NATIVE SOIL OR PROPERLY COMPACTED STRUCTURAL FILL CAPABLE OF SUPPORTING THE DESIGN LOADS.
7. PROVIDE A CONCRETE-ENCASED GROUNDING ELECTRODE, COMMONLY REFERRED TO AS A UFER GROUND, INSTALLED IN THE FOOTING PRIOR TO CONCRETE PLACEMENT. PROVIDE GROUNDING ELECTRODE INSTALLATION IN ACCORDANCE WITH THE ELECTRICAL CODE AND COORDINATE WITH THE ELECTRICAL CONTRACTOR.
8. REINFORCING STEEL SHALL BE CLEAN AND FREE OF MUD, OIL, GREASE, LOOSE RUST, LOOSE MILL SCALE, OR OTHER COATINGS THAT WOULD REDUCE BOND WITH CONCRETE. LIGHT SURFACE RUST IS ACCEPTABLE WHERE IT DOES NOT REDUCE BAR SIZE OR BOND.
9. REINFORCING STEEL SHALL BE PLACED AND SUPPORTED TO MAINTAIN REQUIRED CONCRETE COVER. PROVIDE MINIMUM CONCRETE COVER AS REQUIRED BY CODE AND THE STRUCTURAL PLANS, INCLUDING 3 INCHES MINIMUM WHERE CONCRETE IS CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.
10. REBAR LAP SPLICES SHALL BE INSTALLED PER THE STRUCTURAL PLANS AND APPLICABLE CODE REQUIREMENTS. WHERE NOT SPECIFICALLY DETAILED, LAP SPLICES SHALL NOT BE LESS THAN 12 INCHES, BUT LONGER LAPS MAY BE REQUIRED DEPENDING ON BAR SIZE, LOCATION, AND ENGINEERING REQUIREMENTS.
11. BASEMENT FOOTINGS SHALL BE SIZED AS SHOWN ON THE FOUNDATION PLAN. WHERE NOT OTHERWISE SPECIFIED, BASEMENT WALL FOOTINGS SHALL BE A MINIMUM OF 24 INCHES WIDE BY 24 INCHES DEEP, WITH A MINIMUM CONCRETE THICKNESS OF 12 INCHES, OR AS REQUIRED BY THE STRUCTURAL DESIGN.
12. BASEMENT FOUNDATION WALLS SHALL BE CONSTRUCTED PER THE APPROVED STRUCTURAL PLANS. WALL THICKNESS, REINFORCING SIZE, REINFORCING SPACING, FOOTING SIZE, AND WALL HEIGHT SHALL BE VERIFIED BY THE ENGINEER OR GOVERNING BUILDING DEPARTMENT BEFORE CONSTRUCTION.
13. BASEMENT FOUNDATION WALLS RETAINING EARTH AND ENCLOSING INTERIOR SPACE BELOW GRADE SHALL BE REINFORCED AS REQUIRED BY THE STRUCTURAL DESIGN. WHERE NO ENGINEERED DESIGN IS PROVIDED, REINFORCEMENT SHALL BE VERIFIED WITH THE BUILDING OFFICIAL BEFORE CONSTRUCTION.
14. ALL CMU BASEMENT FOUNDATION WALLS SHALL INCLUDE A CONTINUOUS BOND BEAM AT THE TOP COURSE UNLESS OTHERWISE SPECIFIED BY THE STRUCTURAL PLANS.
15. ALL BASEMENT WALLS BELOW GRADE SHALL RECEIVE APPROVED DAMPPROOFING OR WATERPROOFING ON THE EXTERIOR SIDE OF THE WALL BEFORE BACKFILL. DAMPPROOFING OR WATERPROOFING SHALL EXTEND AS REQUIRED BY IRC 2018 AND LOCAL JURISDICTION REQUIREMENTS.
16. PROVIDE FOUNDATION DRAINAGE AT THE BASE OF BASEMENT WALLS WHERE REQUIRED. DRAINAGE SHALL CONSIST OF APPROVED PERFORATED DRAIN PIPE, WASHED GRAVEL OR CRUSHED STONE, FILTER FABRIC OR APPROVED FILTER MEMBRANE, AND POSITIVE DRAINAGE TO DAYLIGHT, SUMP SYSTEM, OR OTHER APPROVED DISCHARGE LOCATION.
17. BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT WALLS UNTIL THE WALL HAS REACHED ADEQUATE STRENGTH AND REQUIRED FLOOR FRAMING, SLAB, OR OTHER LATERAL BRACING IS INSTALLED, UNLESS THE WALL HAS BEEN DESIGNED TO RESIST UNSUPPORTED BACKFILL LOADS.
18. BACKFILL SHALL BE PLACED IN 6-INCH LIFTS AND COMPACTED TO 95% PROCTOR DENSITY WHERE STRUCTURAL FILL IS USED OR WHERE REQUIRED BY THE PLANS, ENGINEER, OR BUILDING OFFICIAL. SOIL COMPACTION TESTING IS RECOMMENDED AND MAY BE REQUIRED BY THE JURISDICTION.
19. FINISHED GRADE AND NATURAL GROUND SHALL SLOPE AWAY FROM THE STRUCTURE. PROVIDE A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET FROM THE FOUNDATION WHERE POSSIBLE. WHERE LOT LINES, WALLS, SLOPES, OR OTHER PHYSICAL BARRIERS PREVENT THIS SLOPE, PROVIDE DRAINS OR SWALES TO DIRECT WATER AWAY FROM THE STRUCTURE.
20. BASEMENT SLAB SHALL BE PLACED OVER PROPERLY PREPARED AND COMPACTED SUBGRADE. PROVIDE VAPOR RETARDER, GRANULAR BASE, REINFORCEMENT, AND SLAB THICKNESS AS SHOWN ON THE PLANS OR AS REQUIRED BY CODE.
21. PROVIDE REQUIRED EMERGENCY ESCAPE AND RESCUE OPENINGS FOR BASEMENT SLEEPING ROOMS. WINDOW WELLS, LADDERS, STEPS, DRAINAGE, SILL HEIGHT, NET CLEAR OPENING AREA, OPENING WIDTH, AND OPENING HEIGHT SHALL COMPLY WITH IRC 2018 REQUIREMENTS.
22. PROVIDE ANCHOR BOLTS, HOLD-DOWNS, STRAPS, POST BASES, AND OTHER FOUNDATION-TO-FRAMING CONNECTIONS AS SHOWN ON THE STRUCTURAL PLANS.
23. ALL CONCRETE, REINFORCING STEEL, ANCHORS, FOUNDATION WALLS, WATERPROOFING, DRAINAGE SYSTEMS, AND RELATED FOUNDATION WORK SHALL BE INSPECTED AS REQUIRED BY THE GOVERNING BUILDING DEPARTMENT BEFORE CONCEALMENT OR BACKFILL.
24. A SOLID FLOOR USED FOR PARKING AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE MOVEMENT OF LIQUIDS TOWARD THE MAIN VEHICLE ENTRY.

MODERN CABIN
SAMPLE

1,250 SQ FT

2 BEDROOMS

2 BATHROOMS

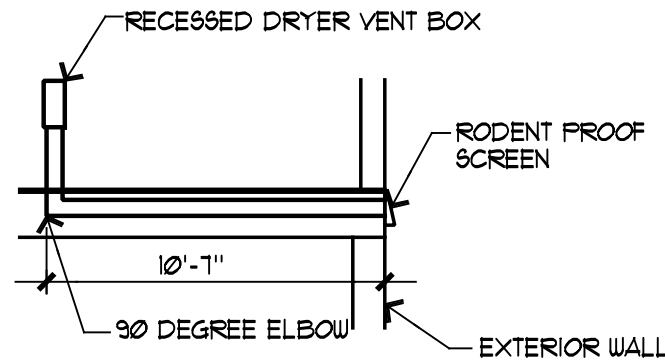
PORTFOLIO
SAMPLE

Not for
construction

A3.1

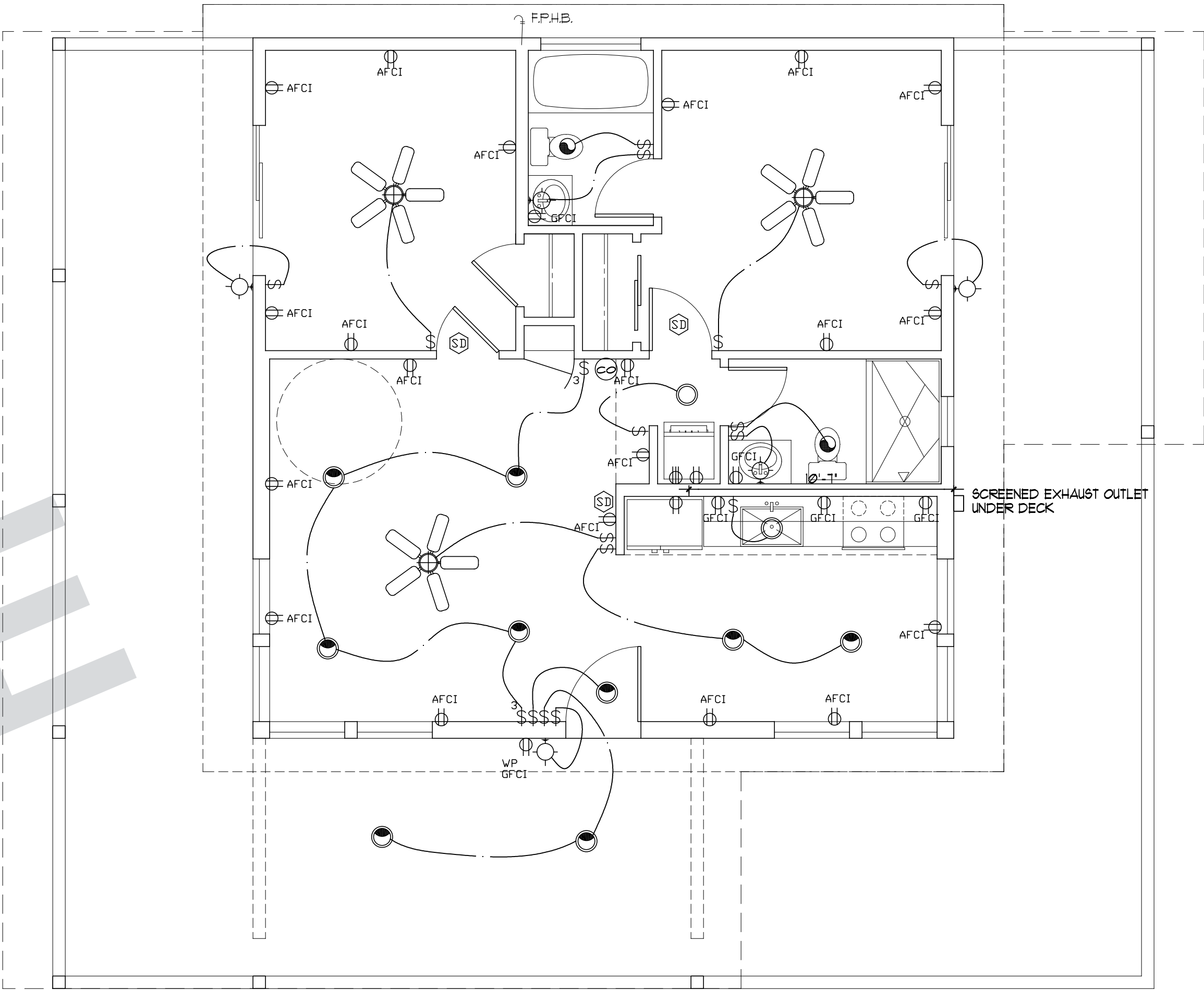
Foundation plan

RECESSED DRYER EXHAUST VENT
4" RIGID TO OUTSIDE WALL, LESS THAN 20 L.F.
DEDUCT 5 L.F. FOR 90 DEGREE ELBOW AND 2.5 L.F.
FOR 45 DEGREE ELBOW. PER SECTION M1505.
2003 IBC, SECTION 106.1



DRYER VENT DETAIL

SCALE: 1/4"=1'-0"



ELECTRICAL SYMBOL LEGEND	
	DUPLEX 110V RECEPTACLE
	ARC FAULT CIRCUIT INTERRUPT
	SPLIT WIRED RECEPTACLE
	220V RECEPTACLE
	G.F.C.I. RECEPTACLE
	LISTED FLOOR MOUNTED RECEPTACLE
	ELECTRIC MOTOR SYMBOL
	TELEVISION PRE-WIRE
	TELEPHONE PRE-WIRE
	CEILING LIGHT
	CEILING LIGHT, PULL CHAIN
	WALL MOUNT LIGHT
	RECESSED CAN LIGHT - IC RATED
	RECESSED EYEBALL LIGHT - IC RATED
	EXHAUST FAN
	DIMMER SWITCH
	SMOKE DETECTOR
	PUSH BUTTON
	VAPOR PROOF FIXTURE
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	SWITCH WITH FAN CONTROLS
	APPROVED CARBON MONOXIDE ALARM
	VENT - HEAT - LIGHT
	STAIR TREAD LIGHT
	24" FLUORESCENT LAMP/UNDER CABINET
	48" FLUORESCENT LAMP 2 BULB
	48" FLUORESCENT LAMP 4 BULB
	DIRECTIONAL EMERGENCY SPOT LIGHTS W/ MOTION DETECTOR
	F.A.U. - PROVIDE GAS GATE 4 110V OUTLET
	CEILING FAN
	CEILING FAN WITH LIGHT

Electrical

- Inspections based on 2018 IRC/IBC, and referenced with 2017 National Electric Code.
- All receptacle wiring shall be 12 AWG minimum on 20 Amp circuit & breaker.
- Separate lighting circuits may use 14 AWG with 15 Amp breakers.
- Each Bathroom must be on their own separate circuit.
- Ground Fault Circuit Interrupters are required for:
 - All receptacles in bathrooms
 - All receptacles within 6 feet of water
 - All countertop receptacles
 - All exterior receptacles (Must have weather-proof cover)
 - All receptacles in garages and unfinished basements
 - All temporary receptacles.
 - All circuits providing power to spas or hot tubs and any convenience outlet within 10 feet of unit.

Plumbing

- Inspections based on 2017 I.P.C. and referenced with 2018 Uniform Plumbing Code.
- All venting through the roof shall be a minimum of 2" in diameter.
- LPG service, facilities, supply, or storage shall not be installed in a basement, pit, or crawlspace.
- All fireplaces supplied with gas log lighters shall have a key type gas valve installed outside the hearth and within three feet of the device.
- No atmospheric valve type venting (e.g. Studor brand vents) will be allowed without prior approval from the Building Official. (Attic placement prohibited)
- P2903.10 Hose bibb. Hose bibbs subject to freezing, including the "frostproof" type, shall be equipped with an accessible stop-and-waste-type valve inside the building so that they can be controlled and drained during cold periods. Exception: Frostproof hose bibbs installed such that the stem extends through the building insulation into an open heated or semiconditioned space need not be separately valved (see Figure P2903.10)

MAIN LEVEL ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

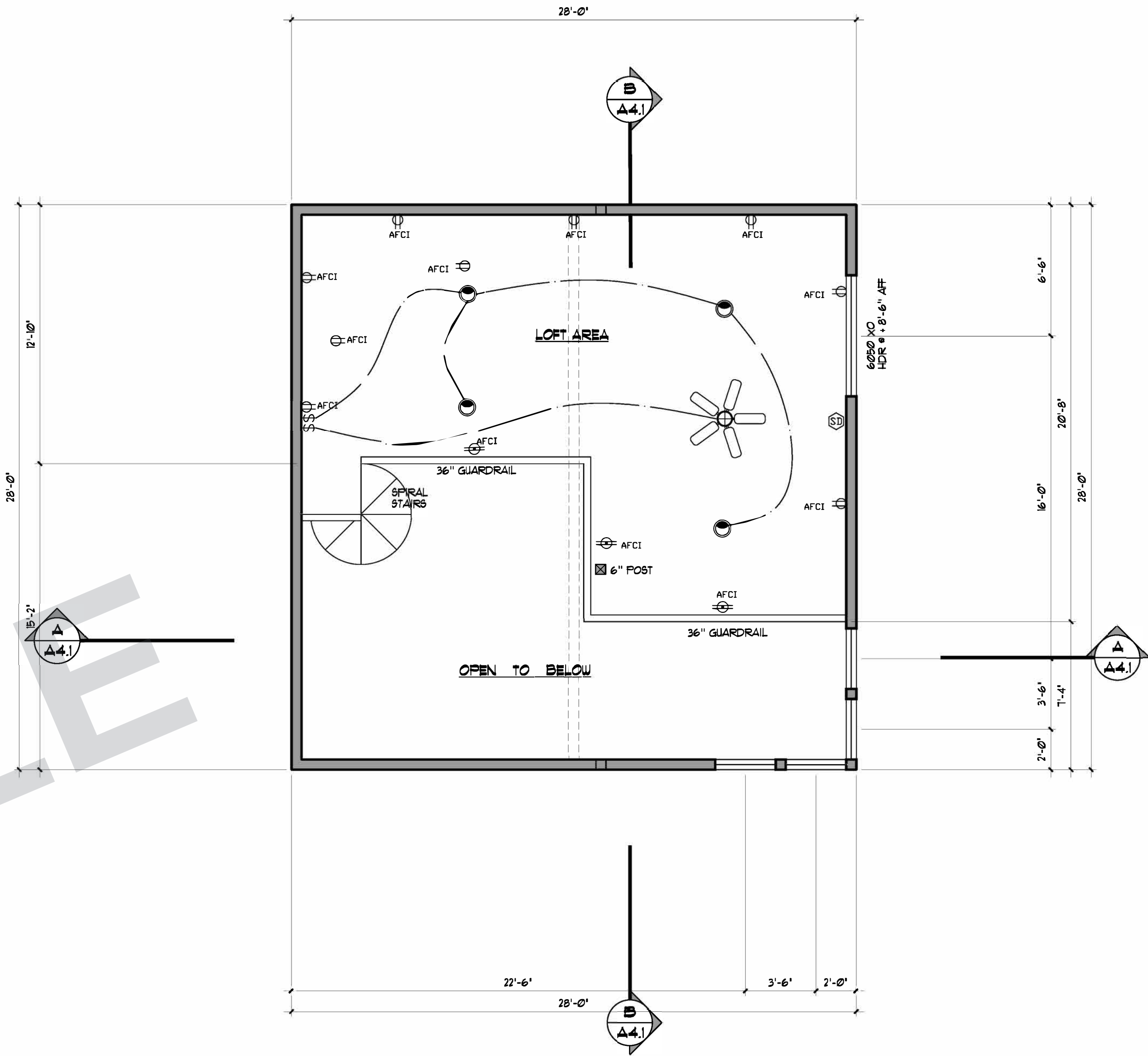
ELECTRICAL SYMBOL LEGEND	
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	ARC FAULT CIRCUIT INTERRUPT
	SPLIT WIRED RECEPTACLE
	220V RECEPTACLE
	G.F.C.I. RECEPTACLE
	LISTED FLOOR MOUNTED RECEPTACLE
	ELECTRIC MOTOR SYMBOL
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	DIRECTIONAL EMERGENCY SPOT LIGHTS W/ MOTION DETECTOR
	FALL - PROVIDE GAS GATE & 110V OUTLET
	CEILING FAN
	CEILING FAN WITH LIGHT

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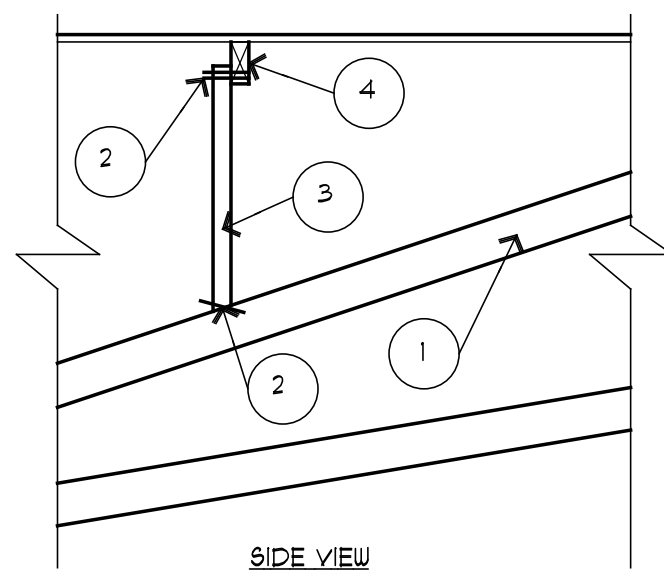
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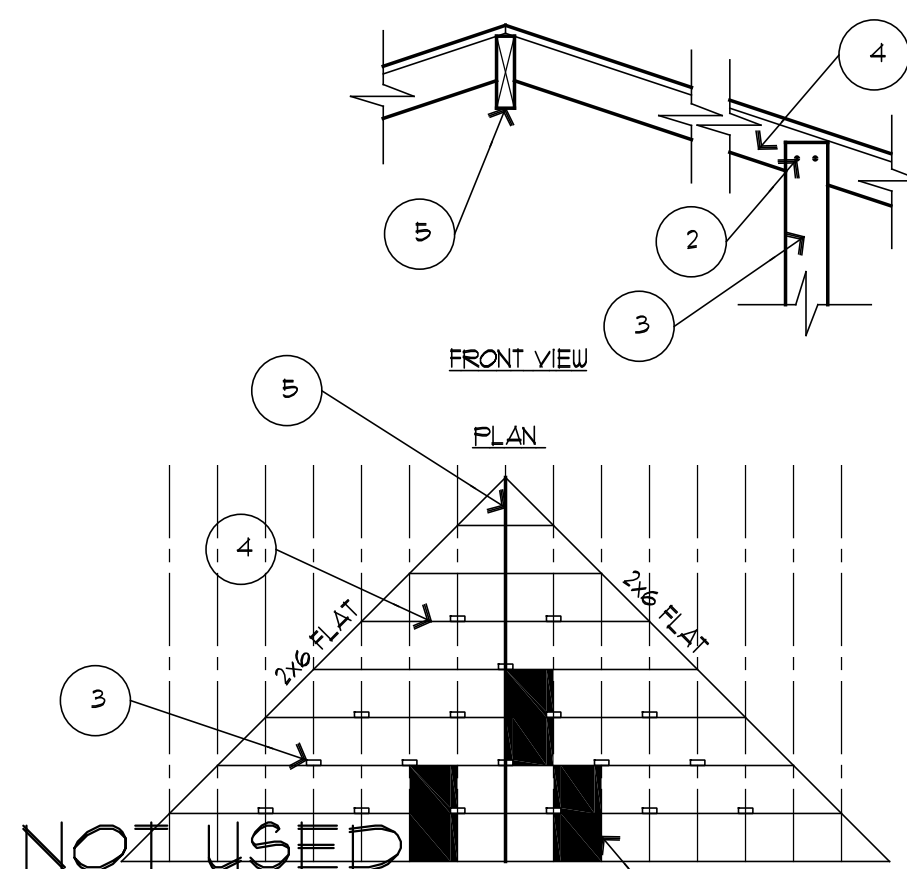


UPPER FLOOR PLAN & ELEC.
474 SF. UPPER LIVABLE SCALE: 1/4"=1'-0"





- KEY NOTES:
1) TOP CHORD OF TRUSS
2) (2) 16D NAILS TOP & BOTTOM
3) 2x4 POST TYP.
4) 2x4 RAFTERS OVER FRAMING @ 24" O.C.
5) 2x6 RIDGE BOARD CONT.
6) ROOF SHEATHING MAY BE OMITTED
IN SHADED AREAS BELOW FRAMING FOR VENTILATION



NOT USED

OVER FRAMING

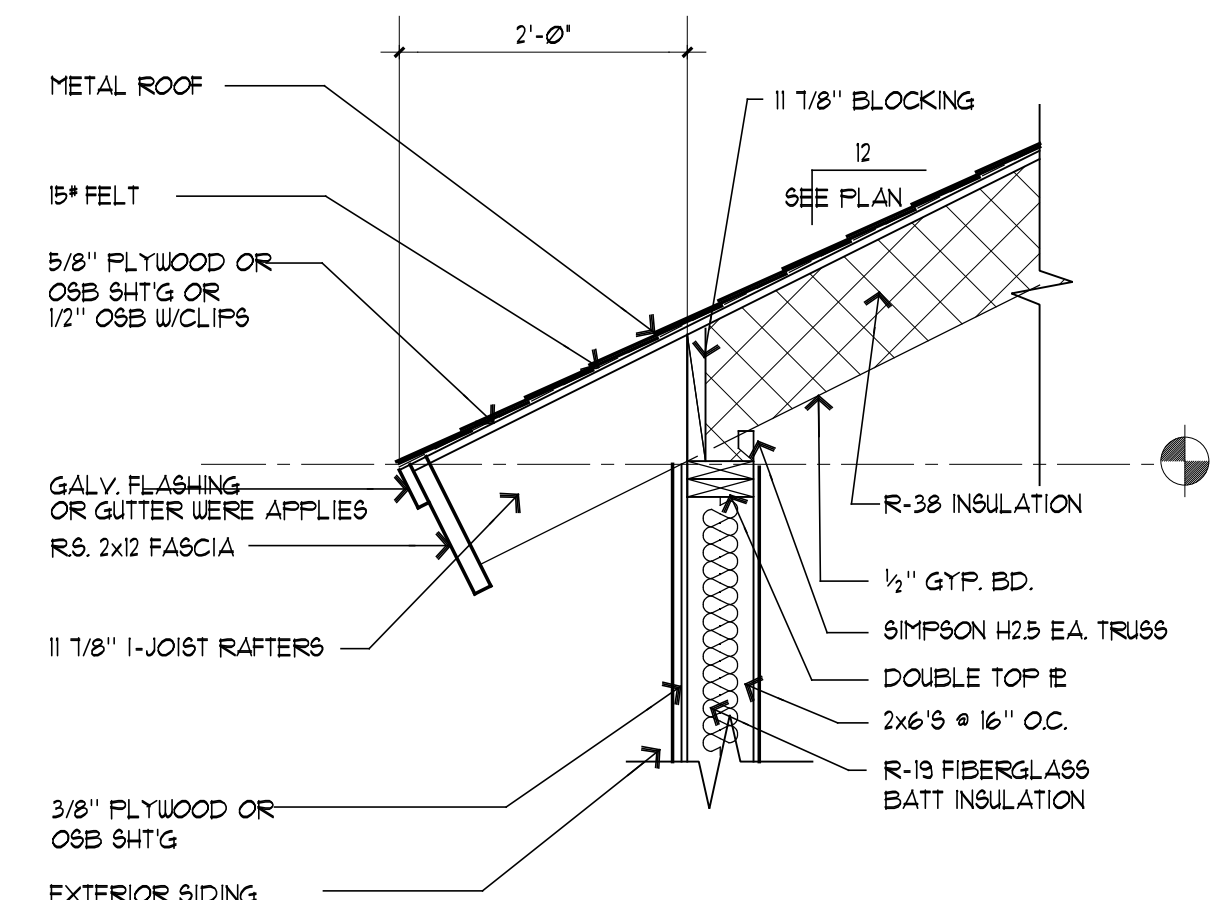
SCALE 3/4" = 1'-0" D11

NOT USED

SCALE 3/4" = 1'-0" D11

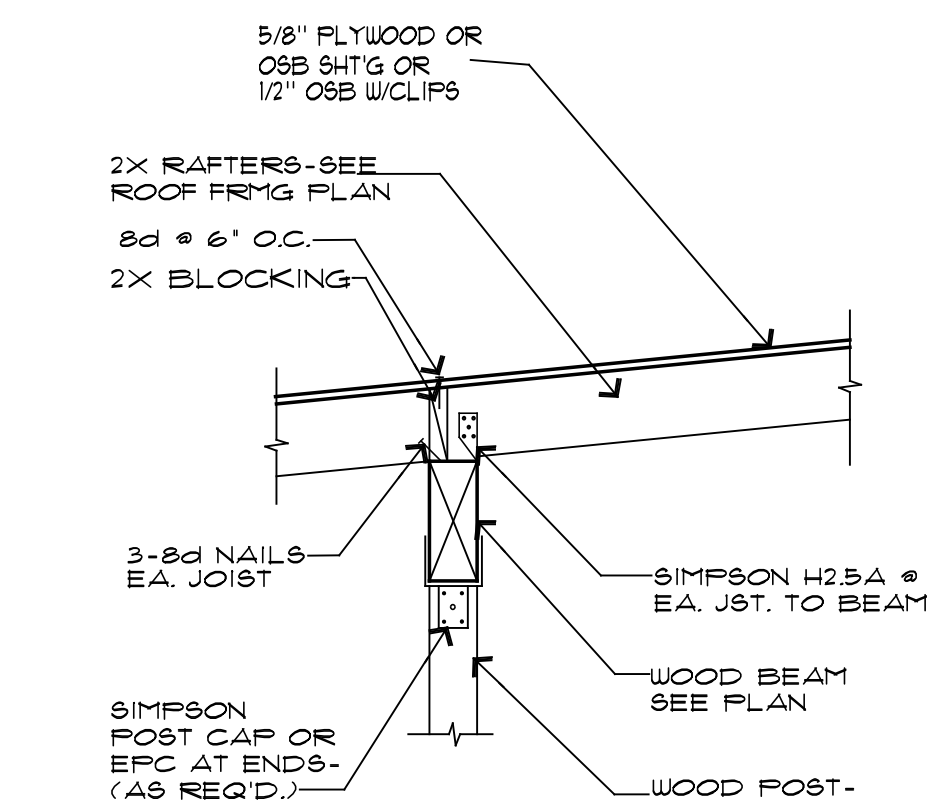
NOT USED

SCALE 3/4" = 1'-0" D11



ROOF DETAIL - RAFTER

SCALE 3/4" = 1'-0" D11

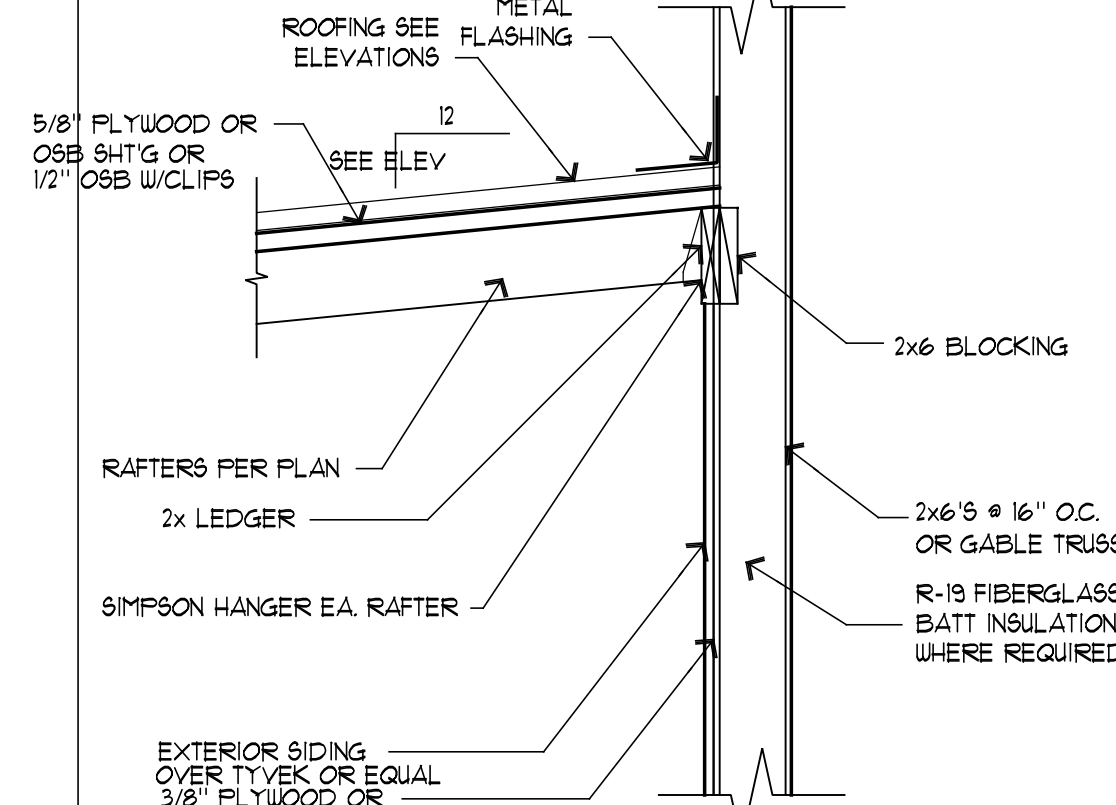


RAFTER-BEAM CONN.

SCALE 3/4" = 1'-0" D11

NOT USED

SCALE 3/4" = 1'-0" D11



PATIO RAFTER - WALL

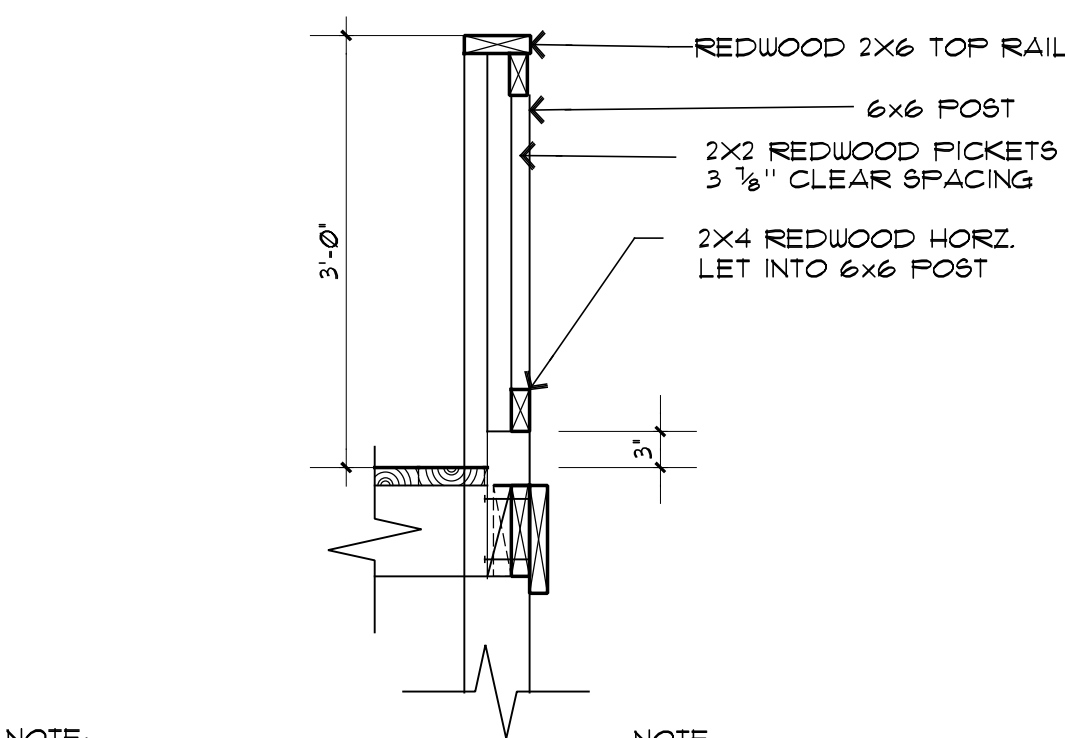
SCALE 3/4" = 1'-0" D11

NOT USED

SCALE 3/4" = 1'-0" D11

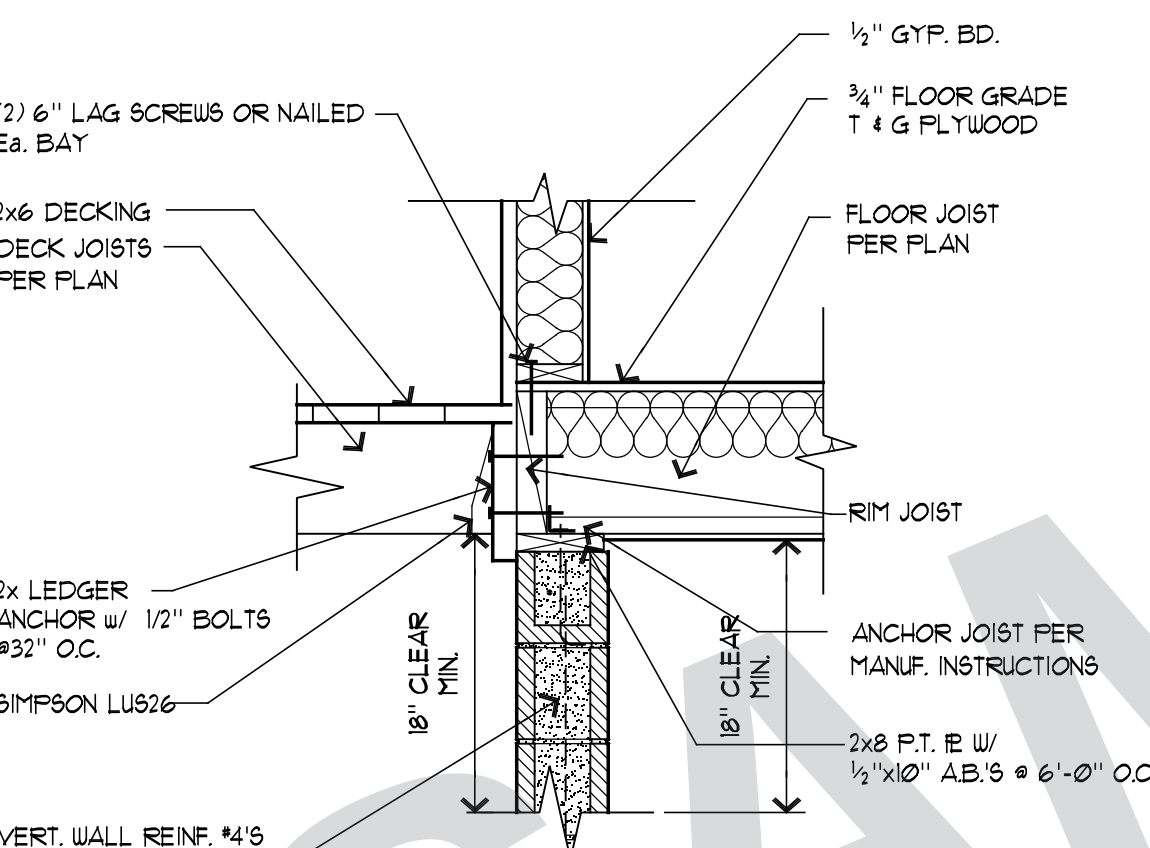
NOT USED

SCALE 3/4" = 1'-0" D11



RAIL

SCALE 3/4" = 1'-0" D11

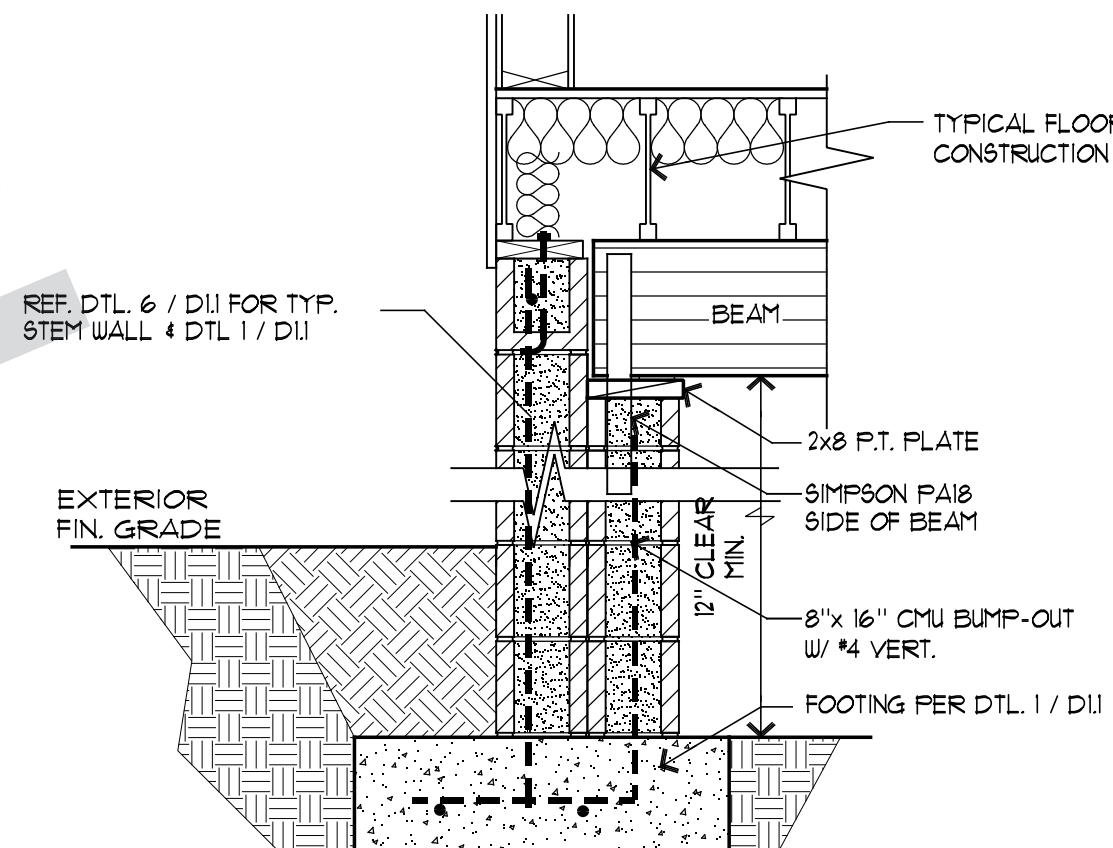


FLOOR/WALL BEARING

SCALE 3/4" = 1'-0" D11

NOT USED

SCALE 3/4" = 1'-0" D11

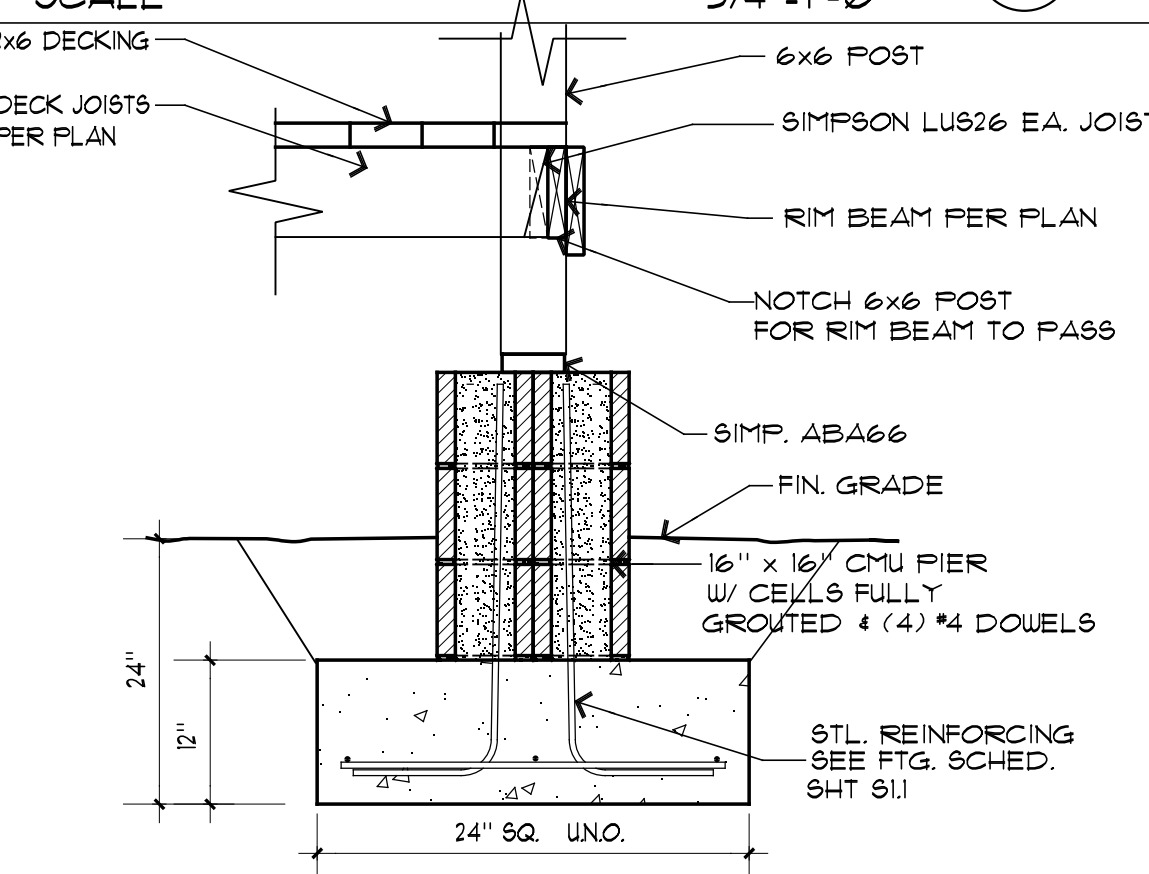


BEAM SEAT DETAIL

SCALE 3/4" = 1'-0" D11

FLOOR/WALL BEARING

SCALE 3/4" = 1'-0" D11

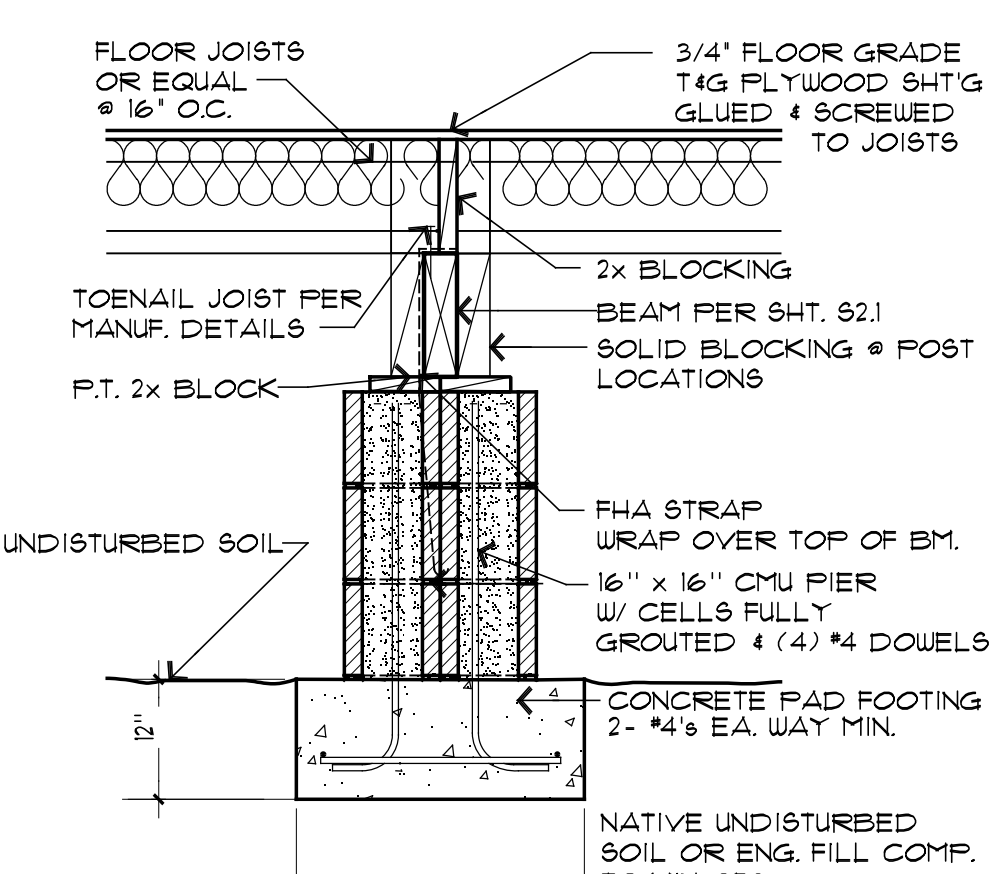


DECK BRG.

SCALE 3/4" = 1'-0" D11

NOT USED

SCALE 3/4" = 1'-0" D11

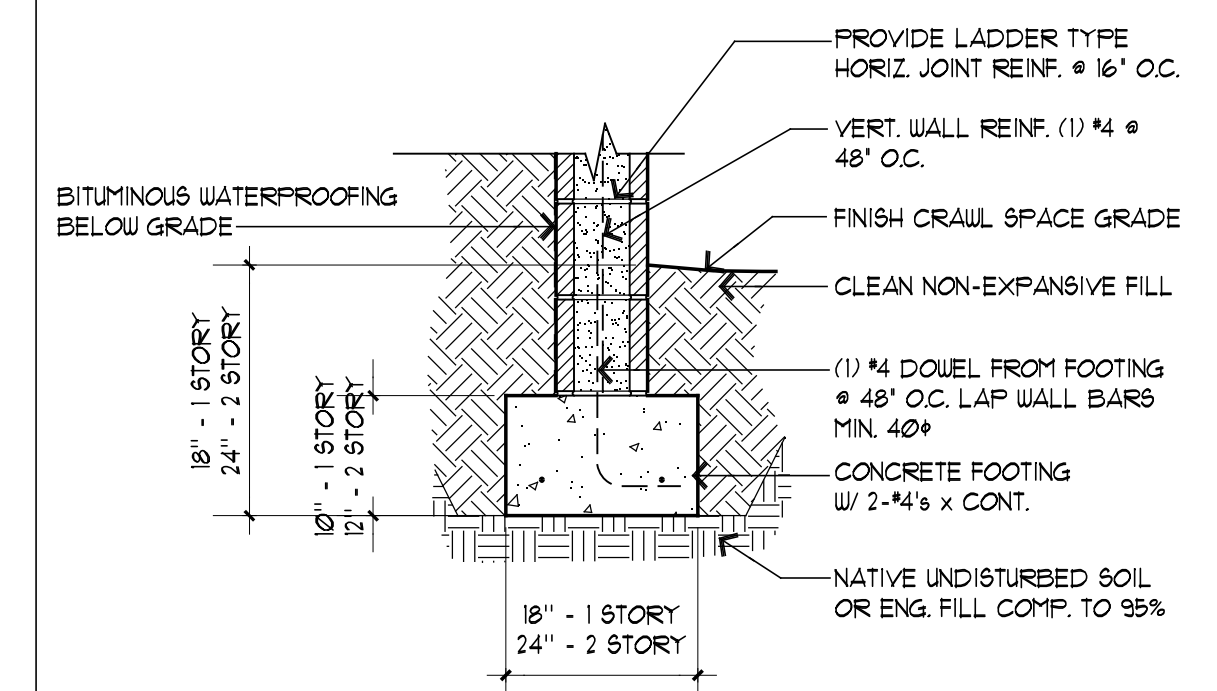


PIER/B EAM CONN.

SCALE 3/4" = 1'-0" D11

NOT USED

SCALE 3/4" = 1'-0" D11



FOOTING / STEM WALL

SCALE 3/4" = 1'-0" D11

MODERN
CABIN
SAMPLE

1,250 SQ FT

2 BEDROOMS

2 BATHROOMS

PORTFOLIO
SAMPLE

Not for
construction

D1.1

Construction details

SHEET 7 OF 7